

BUILDING CONSENT NO: 97/1783

6580/223.00

Project Information Memorandum No:

Section 35, Building Act 1991

ISSUED BY ROTORUA DISTRICT COUNCIL

P29570

FILE

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
<p>Name: LH JACKSON</p> <p>Mailing Address: C/O JENNIAN HOMES P O BOX 20151 HAMILTON</p>	<p>All <input type="checkbox"/></p> <p>Stage No. ^X of an intended stages</p> <p>of:</p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input type="checkbox"/></p> <p>Intended Use(s) (in detail):</p> <p>NEW DWELLING</p> <p>NEW DWELLING/GARAGE 2WC</p> <p>Intended Life:</p> <p>Indefinite, but not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as _____ years</p> <p>Demolition <input type="checkbox"/></p> <p>Estimated Value: \$ 177,000.00</p>
<p>PROJECT LOCATION</p> <p>Street Address: 32 OTONGA ROA ROTORUA</p>	
<p>LEGAL DESCRIPTION</p> <p>Property Number: 10348</p> <p>Valuation Roll Number: 06580/223.00</p> <p>Lot: 48 DP: 27272</p> <p>Section: _____ Block: _____</p> <p>Survey District: _____</p>	
<p>COUNCIL CHARGES</p> <p>The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:</p> <p>Total: \$ 0.00</p> <p>ALL FEES ARE G.S.T. INCLUSIVE</p>	<p>Signed for and on behalf of the Council:</p> <p>Name: <u>[Signature]</u></p> <p>Position: <u>Admin-Building</u></p> <p>Date: <u>24/10/97</u></p>

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached _____ pages, headed "Conditions of Building Consent No. _____"

CODE COMPLIANCE CERTIFICATE NO: 97/1783

Section 43(3), Building Act 1991

ISSUED BY

ROTORUA DISTRICT COUNCIL

P29570
FILE
P10348

BUILDING CONSENT NO: 97/1783

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT		PROJECT LOCATION	
All	<input checked="" type="checkbox"/>	Street Number:	
Stage No of:	of an intended stages	LH JACKSON 32 OTONGA ROAD ✓ ROTORUA	
New or relocated building	<input checked="" type="checkbox"/>		
Alteration	<input type="checkbox"/>		
Intended use(s) (in detail): NEW DWELLING NEW DWELLING/GARAGE 2WC		LEGAL DESCRIPTION	
Intended Life:		Property Number: 10348	
Indefinite, but not less than 50 years		Valuation Roll Number: 06580/223.00	
Specified as years		Lot: 48 DP: 27272	
Demolition		Section: Block:	
		Survey District:	

This is:

- ☒ A final code compliance certificate issued in respect of all of the building work under the above building consent
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent
- ☐ This certificate is issued subject to the conditions specified in the attached _____ page(s) headed "Conditions of Code Compliance Certificate No _____" (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$ 0.00

Receipt No: D1 Deposit \$300

5273252 24/10/97.

memo 10065 29/5/98 \$300

Signed for and on behalf of the Council:

Name:

John Knight

Position:

Admin Assistant Building

Date:

28/05/98

BUILDING SERVICES

FIELD INSPECTION CARD

Application No:

97/1783

Date Consent Issued:

24.10.97

OWNER: Jackson

BUILDER: Jennian Holmes

SITE: 32 Otonga Road

PLUMBER:

Hamilton

Sg. Churches Wd

VALAUTION NO: 06580/223.00

DRAINLAYER:

FILE NO: P16348

LOT NO: 48 OPS 27272

DESCRIPTION OF PROPOSED WORK:

New Dwelling/Garage

DATE	INSPECTION REPORTS	TIME
20/10/97	FOOTING - All to good bearing, 2 DR bars in trench. DIO starters @ 600¢. Boundaries confirmed. Ok to pour.	
31/10/97	PRE SLAB - hardfill well compacted, polythene and HRE laid to slab, subfloor pipework lagged + taped through slab. Ok to pour.	
27/11/97	PLUMBING PRELINE - run in copper + polybutylene under test 200 psi. Ok to continue.	
8/12/97	PRELINE - moisture content to framing all complies fixings in place where required, dynabolts to plates, 'Z' nails to trusses, etc. bracing as per plan. Ok to install insulation.	
15/12/97	PRELINE 2 - Blown insulation to walls. All complying. Ok to line.	
16/12/97	LININGS - Nailed and screwed off and coning.	
20/1/98	DRAINS - run in uPVC to good falls, under water test, laid in AS3500 method, to manhole at street. Ok to backfill.	

DATE

INSPECTIONS

28/5/98

FINAL - All work has been completed. HWC strapped tempering valve fitted. Insulation to ceiling space ground levels to patters complies, as for ground line. End of garage ground level has been modified with a timber deck/grate at ground line which is approx. 300-400 above floor level. this modification has been accepted by council. Drive and vehicel xing is complete. Deposits can be refunded.

Compliance Certificate Issued - Date: 28/5/98

Signed: 

FILE

P29570

13 March 1998

Please Quote: ~~P10348~~

Doc No: 83521

Mr LH Jackson
32 Otonga Road
ROTORUA

Dear Sir

RE: FINAL INSPECTION

Recently I carried out an inspection of your dwelling situated at 32 Otonga Road.

While on-site we discussed the ground level to the end of the garage and your desire for clarification of this situation.

After a lengthy discussion with my Manager, it has been decided that the ground levels are to be excavated to below the floor level to a minimum of 100 mm to paved areas or 150 mm to unpaved areas. The existing situation is not to remain.

Should you have any queries please do not hesitate to contact the undersigned.

Yours faithfully

Mike Skelton
Building Officer

21 October 1997

Rotorua District Council
Private Bag RO 3029
Rotorua.

Attention: The Duty Building Officer
Your Reference: P10348

Dear Sir,

we are in receipt of your letter of 16 October 1997 regarding our application for a building consent for the proposed new dwelling at 32 Otonga Road, Rotorua. We respond to the matters raised as follows;

- **Resources:** It is our intention to use soakholes for the disposal of stormwater - please find enclosed the revised site plan showing this change.

Downpipes will go into 90mm stormwater pipe leading to drilled soakholes with concrete lids.
- **Building:**
 1. Please find enclosed Jennian Homes standard Engineers Specification and Producer Statement for the cantilevered kitchen window lintel.
 2. Please find enclosed a revised floor plan detailing dimensions of window lintels not requiring specific design.
 3. We can confirm that the bath room window will be fitted with Grade A safety glass.

We apologise for the omission of these details in the original application and trust we have now provided all the information you require and look forward to the prompt issue of this building consent.

Yours faithfully,



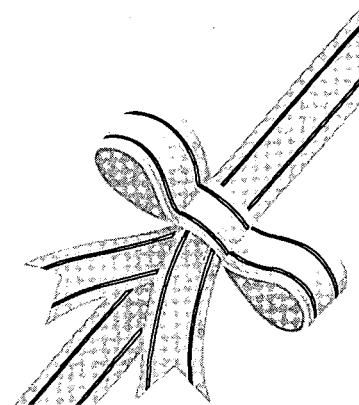
Craig Steel.

Spallson
District Council

RECEIVED	22 OCT 1997
REFERRED TO	<i>EW</i>
COPY TO	
INSTRUCTIONS	

C.A. & J.K. STEEL LTD
T/A JENNIAN HOMES COROMANDEL
P.O. BOX 20151
HAMILTON
HAMILTON - PH 07 850 8454
FAX 07 850 8453
THAMES - PH 07 868 6638
FAX 07 868 6642

A great package.





Hamilton City Council

REGULATORY BUILDING CONTROL PRODUCER STATEMENT - DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: RANJIT WANIGASEKERA LTD.
(Suitably qualified Design Professional)

TO: Jennan Homes
(Owner)

IN RESPECT OF: Standard Cantilever Lintel Supporting 8.0m Truss
(Description of Building Work)

AT: _____

(Address)

LOT _____ DPS _____ SO _____

RANJIT WANIGASEKERA LTD. has been engaged by Jennan Homes
(Design Firm) (Owner/Developer/Contractor)

to provide Engineering Consultancy services in respect of the requirements of Clause(s) 30 of the Building Regulations 1992 for the building work. REQUIREMENTS 1992 for 1991 BEING FULLY COMPLIED WITH

The following specific design elements have been considered:

Standard Cantilever Lintel
Supporting 8.0m Truss with
a Light roof

PLANS APPROVED SUBJECT TO THE	
of the Building Regulations 1992 for	
REQUIREMENTS 1992 for 1991 BEING FULLY COMPLIED WITH	
Date <u>24.10.97</u>	Consent Number <u>97/1783</u>
Drawing by <u>Phanice (G)</u>	

Titled: _____

The following specific design elements have not been considered:

Drawing No. attached
dated 16/4/97

Structure Class	<u>I</u>	II	III
Verification level	<u>1</u>	2	3

(refer reverse of page for explanation of verification)

Verification to be carried out by _____ (if known)

Design prepared in accordance with NZS 4203 (Codes of Practice used)

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

(i) the site verification of the following design assumptions _____

and (ii) all proprietary products meeting the performance specification requirements, the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

(Signature suitably qualified Design Professional)

Date 11/4/97

RANJIT WANIGASEKERA LTD.
CONSULTING, STRUCTURAL AND CIVIL ENGINEERS

(Professional Qualifications)

48 Carrington Avenue
Hamilton
Telephone: (07) 856-4453

ERE/AERB Reg No. 5367

Member ACENZ ☒

IPENZ ☒

Standard Cantilever Lintel

Max span of trusses Landing on Cantilever = 8.0 m.

Light roof, Max span of Cantilever = 1.2 m.

$$w_L = 0.84 \times 4 = 3.4 \text{ kN/m}$$

$$w_S = 0.42 \times 4 = 1.7 \text{ kN/m}$$

$$BM = 3.4 \times \frac{1.2^2}{2} = 2.45 \text{ kNm}$$

$$200 \times 100 \quad \phi M = 6.68 \times 1.14 = 7.6 \text{ kNm}$$

$$\delta = \frac{1.7 \times 10^3 \times 1.2^4 \times 10^9}{8 \times 8 \times 10^3 \times 57 \times 10^6}$$
$$= 1.0 \text{ mm} \quad (1/1240)$$

200 x 100 OK.

When roof trusses Land on 2.4 m Lintel,

Wco at end of Cantilever

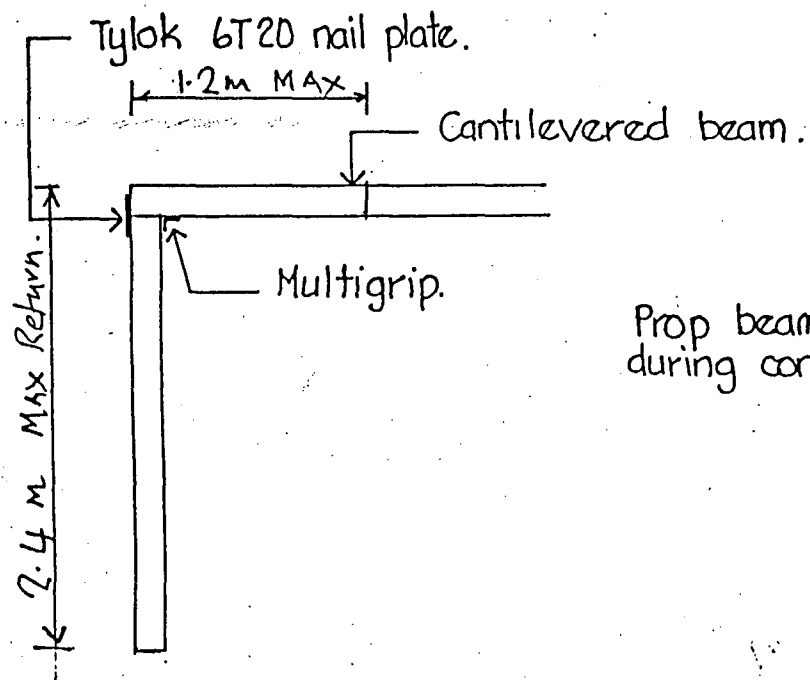
$$P_L = 3.4 \times 1.2 = 4.08 \text{ kN}$$

$$P_S = 1.7 \times 1.2 = 2.04 \text{ kN}$$

$$BM = 4.08 \times 1.2 = 4.9 \text{ kNm} < 7.6 \text{ kNm}$$

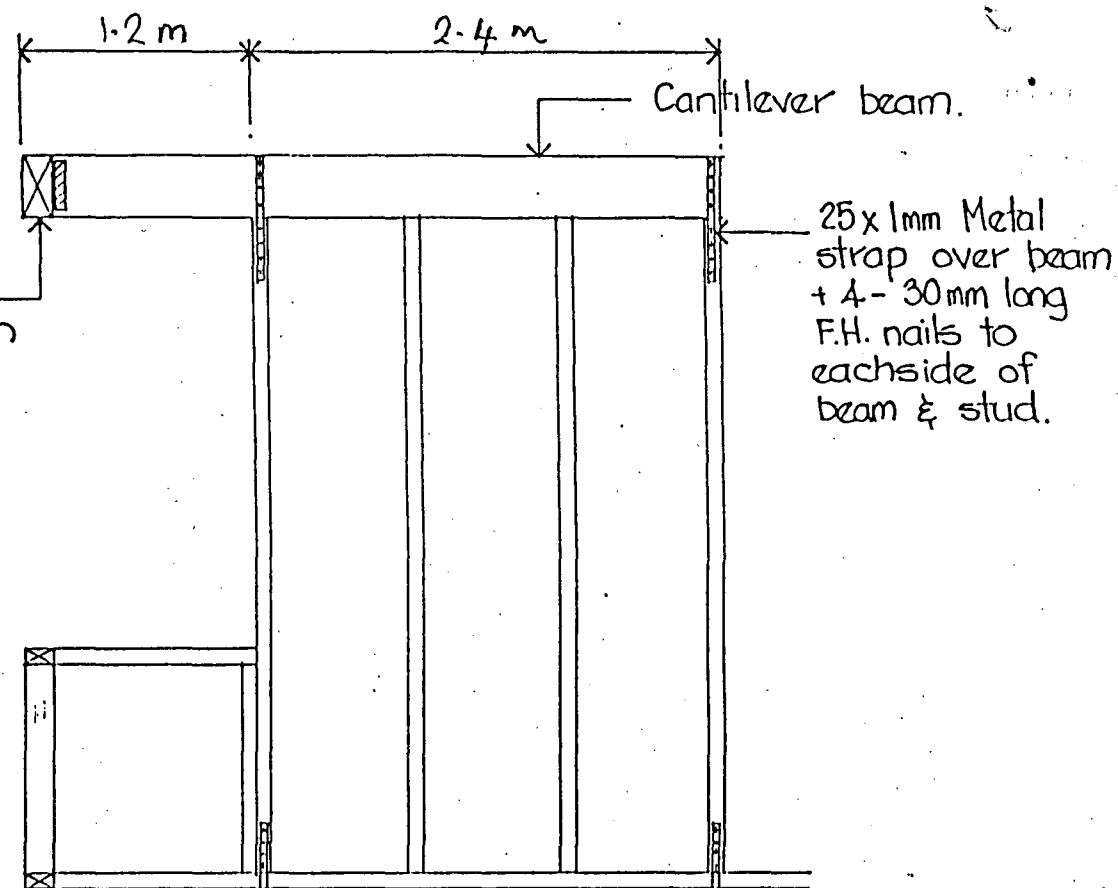
$$\delta = \frac{2.04 \times 10^3 \times 1.2^3 \times 10^9}{3 \times 8 \times 10^3 \times 57 \times 10^6}$$
$$= 2.6 \text{ mm} \quad (1/465)$$

200 x 100 OK.



PLAN.

Prop beam 5mm
during construction



ELEVATION

TYPICAL CANTILEVERED
CORNER WINDOW DETAIL.

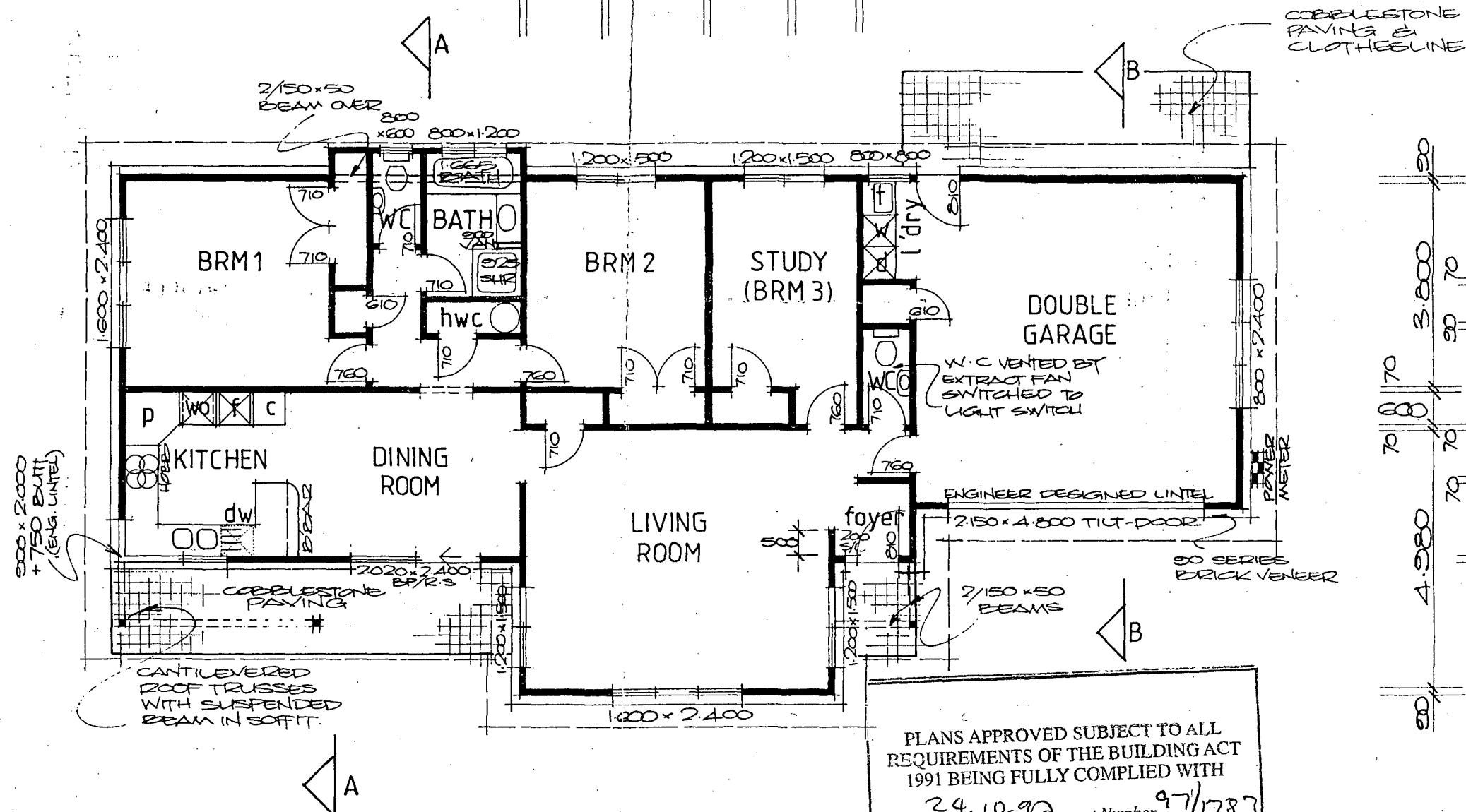
Ranigasekera 16/4/97

RANJIT WANIGASEKERA LTD.
CONSULTING, STRUCTURAL AND CIVIL ENGINEERS

48 Carrington Avenue
Hamilton
Telephone: (07) 856-4455

FALL UNITS IN
EXTERNAL WALLS
TO BE 2/150 x 50
UNLESS NOTED
OTHERWISE

P 29570



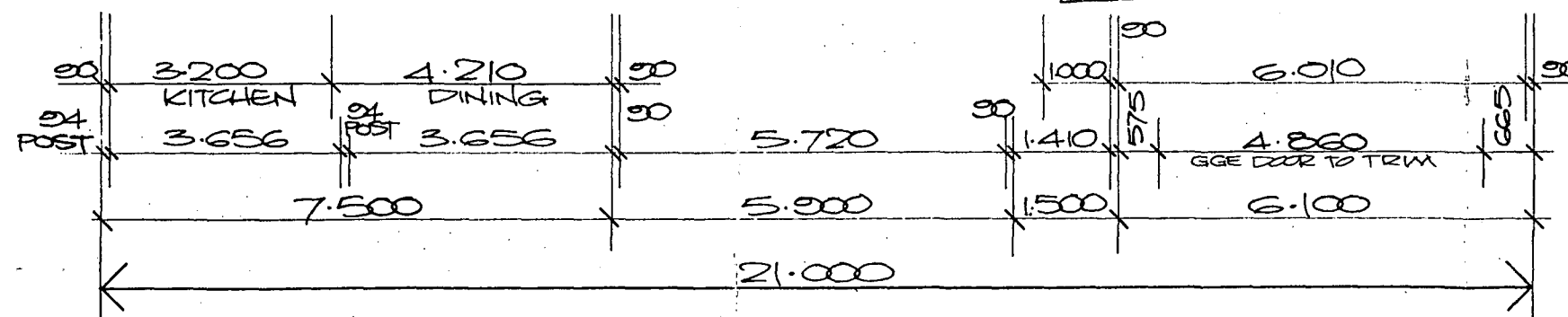
PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH

Date 24.10.97 Consent Number 97/1783

Officer Plumance (CS)

AREA:

LIVING	122.08 m ²
GARAGE	39.73 m ²
<hr/>	
TOTAL	161.81 m ²
<hr/>	
ROOF AREA:	189.61 m ²

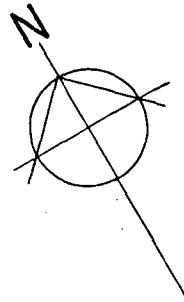


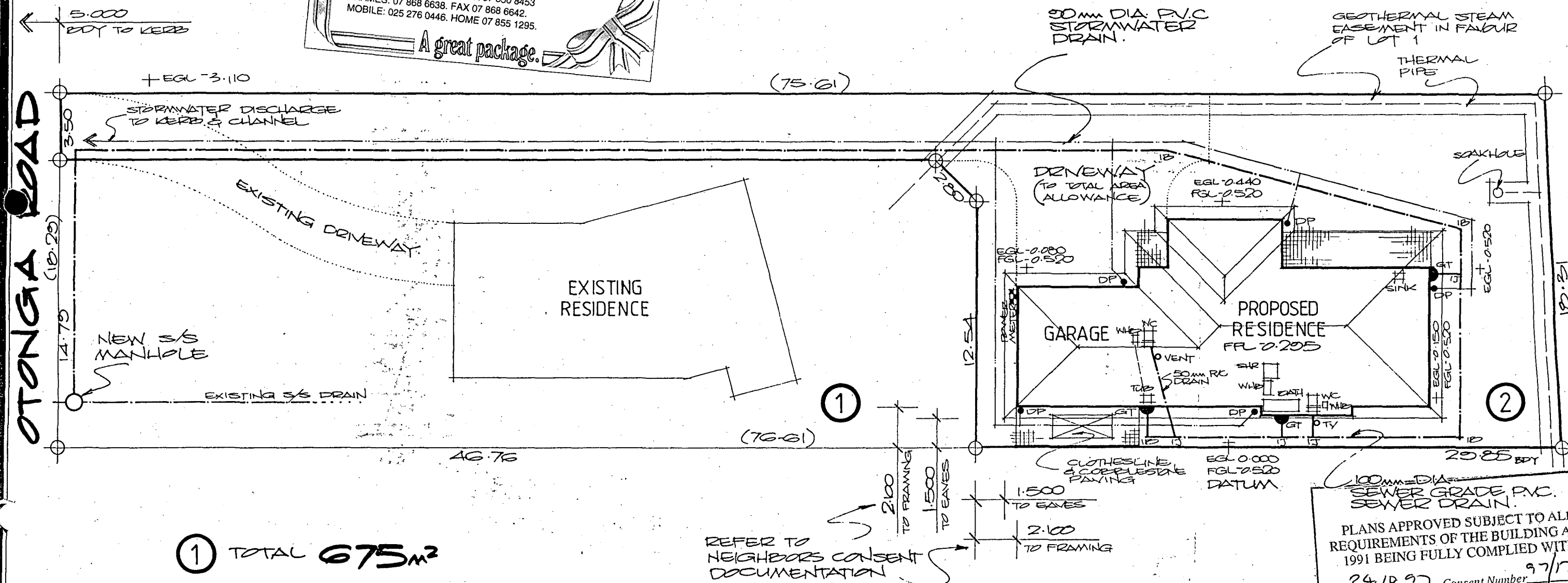
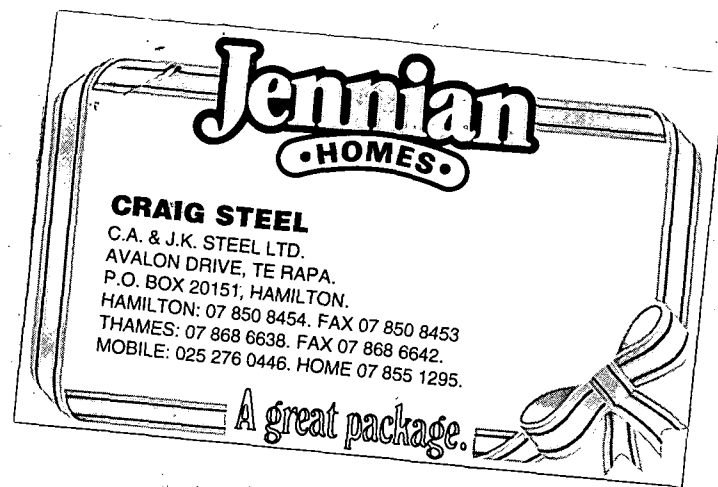
FLOOR PLAN

SCALE 1:100

PROPOSED RESIDENCE FOR JACKSON IN OTONGA RD, ROTORUA

Date 24.10.97 Consent Number 97/1783
Officer P. Linnence (CS)





① TOTAL 675m²

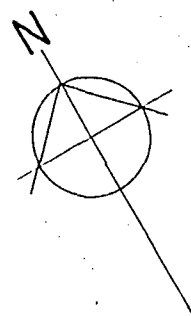
② SITE 538m²
ACCESS 180m²

TOTAL 716m²

BEING A SUBDIVISION OF

LOT 48

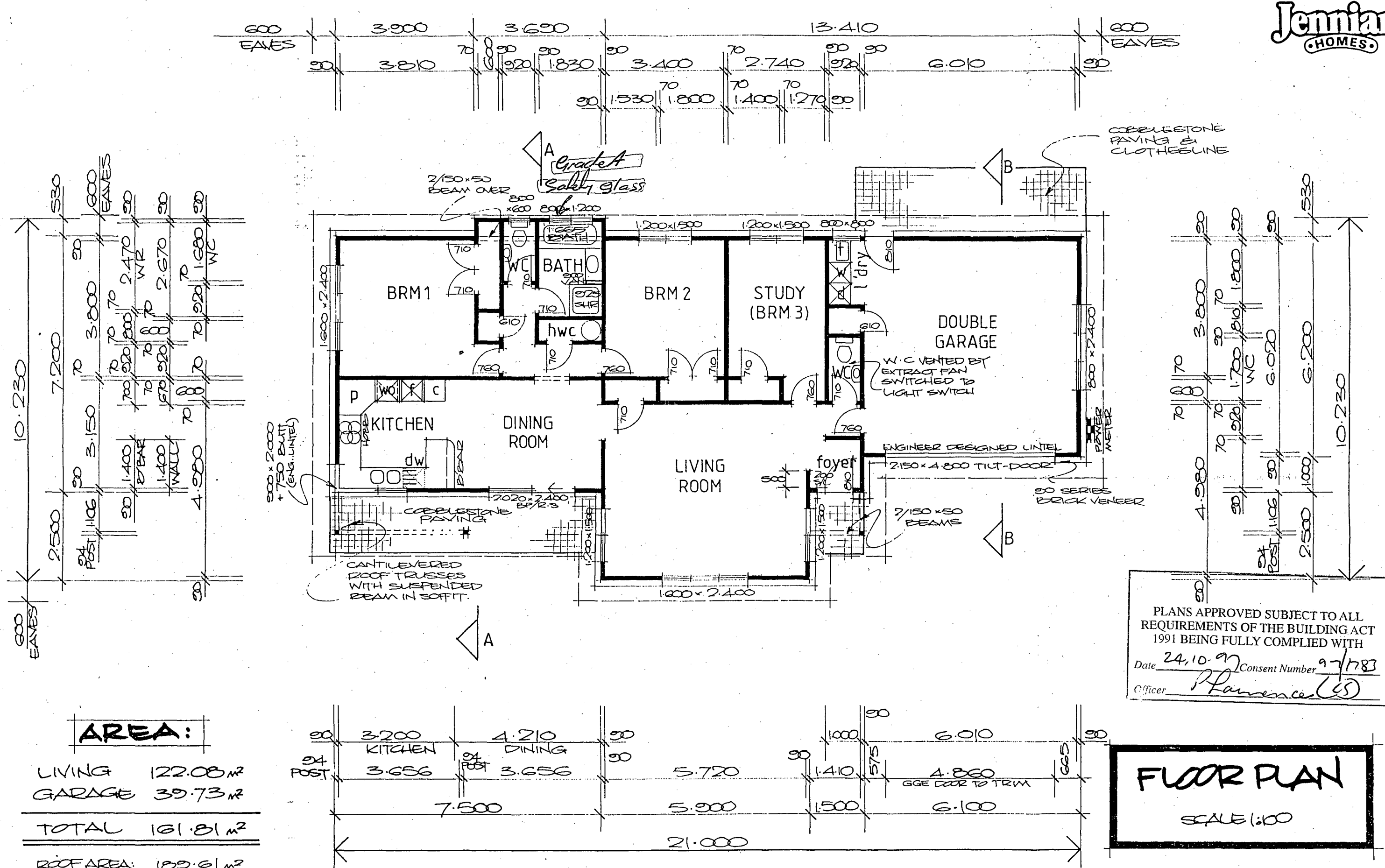
DPS 27272

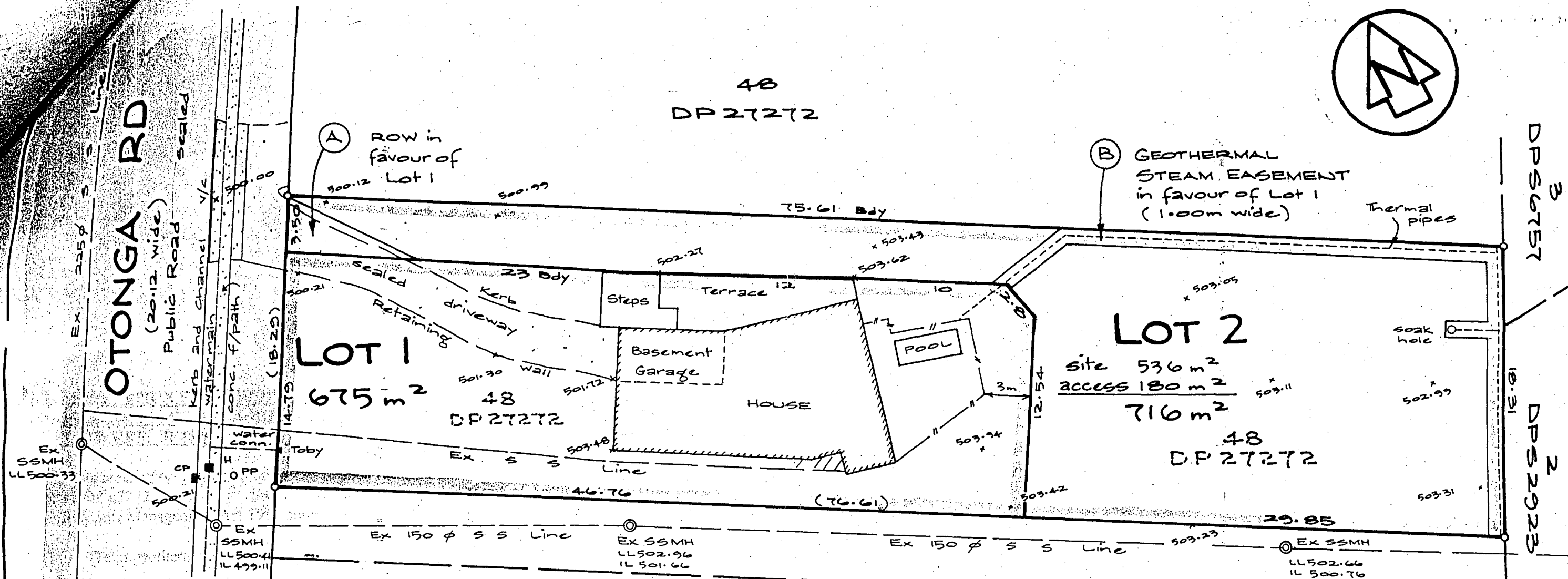
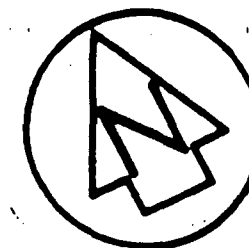


SITE PLAN

SCALE 1:200

PROPOSED RESIDENCE FOR JACKSON IN OTONGA ROAD, ROTORUA





I, Peter Joughin Hawley, Registered Surveyor, hereby certify that this scheme plan has been prepared by me in accordance with the provisions of the Resource Management Act 1991.

P. Hawley 14/8/96

NOTE

Level datum is assumed

2
DPS 2501
APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH
Date 24.10.97 Consent Number 97/1783
Officer Pharrance CS

TOTAL AREA: 1391 m²

Note - Areas and measurements
subject to final survey.

PROPOSED SUBDIVISION OF LOT 48

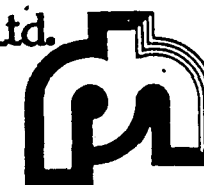
DP27272

BLOCK 1 TARAWERA SD
OWNER: L.H. JACKSON

ROTORUA DISTRICT
CT 1209/185

Phipps Hawley Ltd.

REGISTERED SURVEYORS
20 Haupapa Street,
P.O. Box 190, Rotorua.
Phone (073) 478-995
Fax (073) 478-994



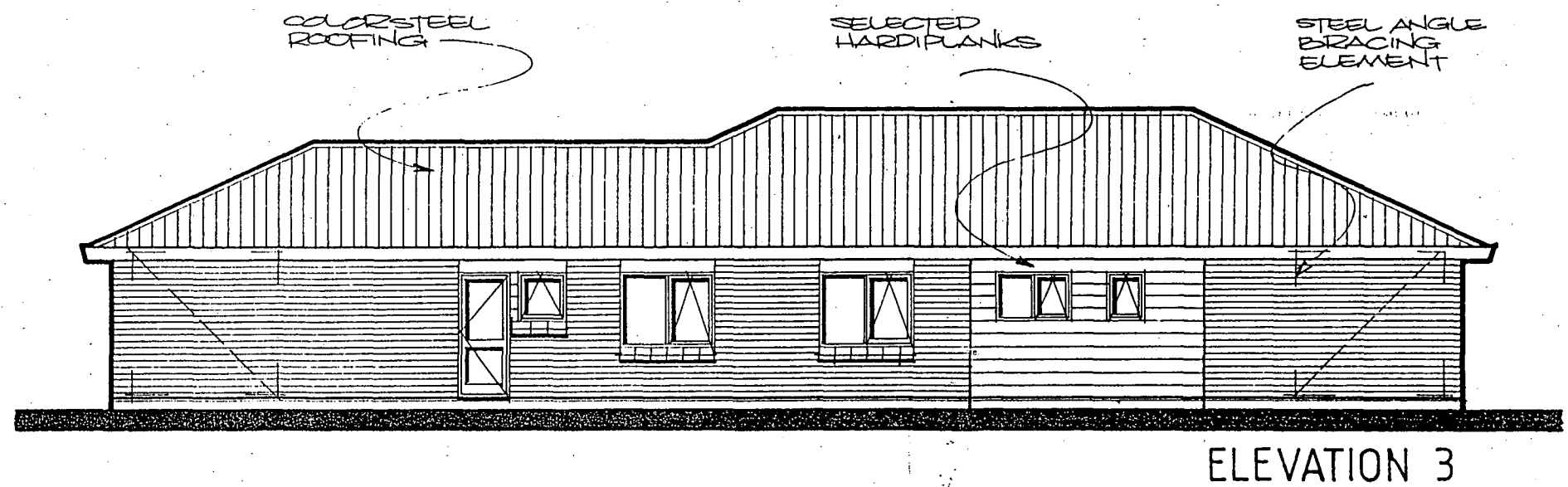
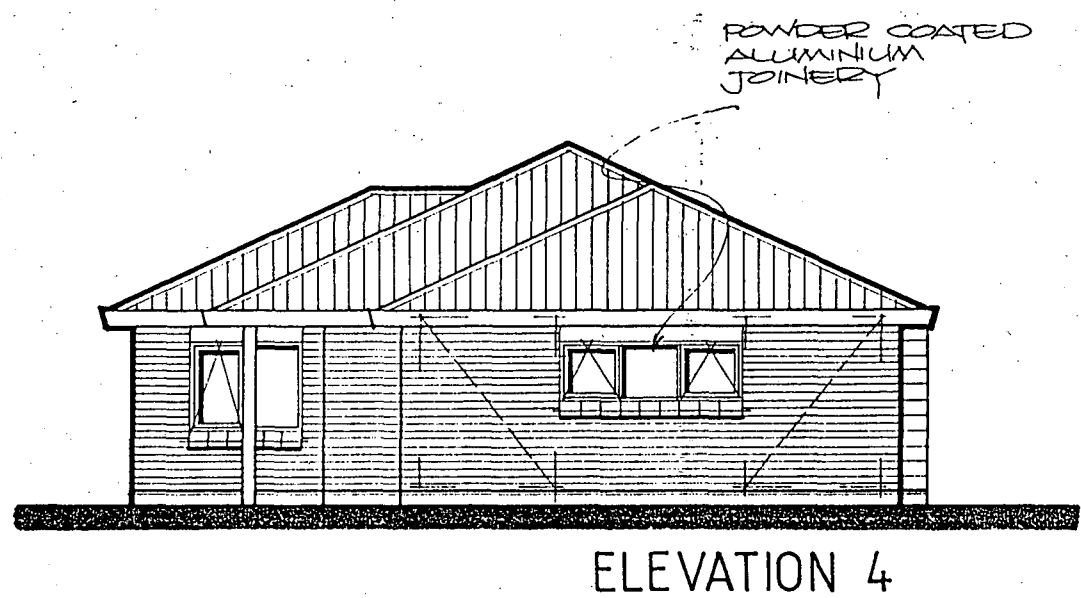
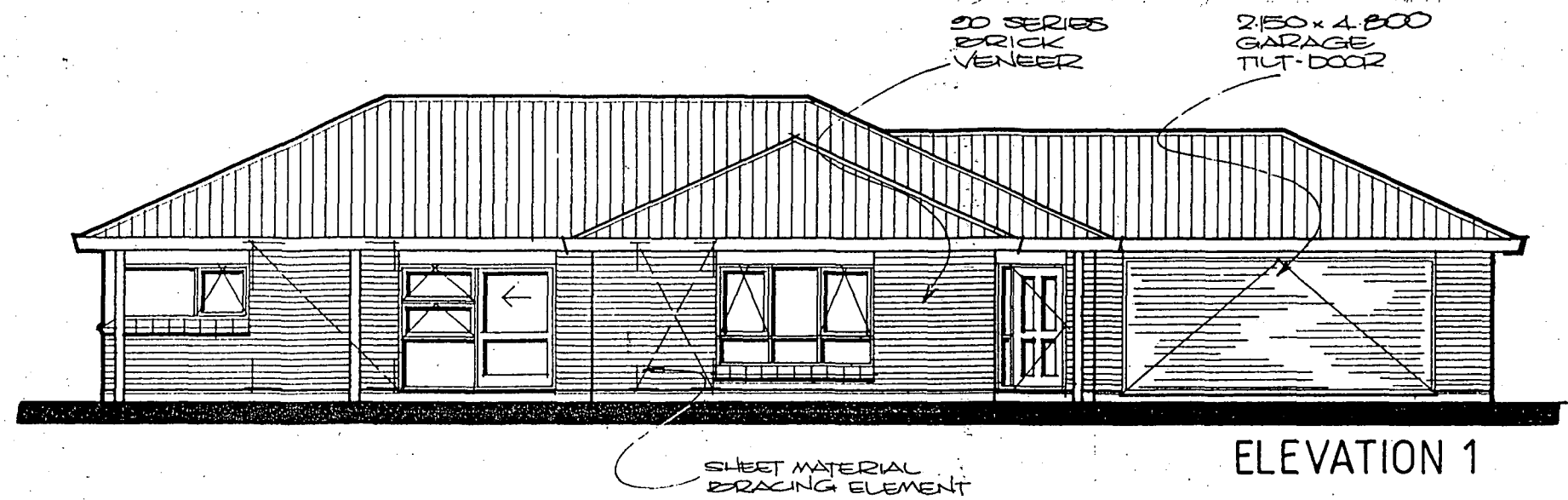
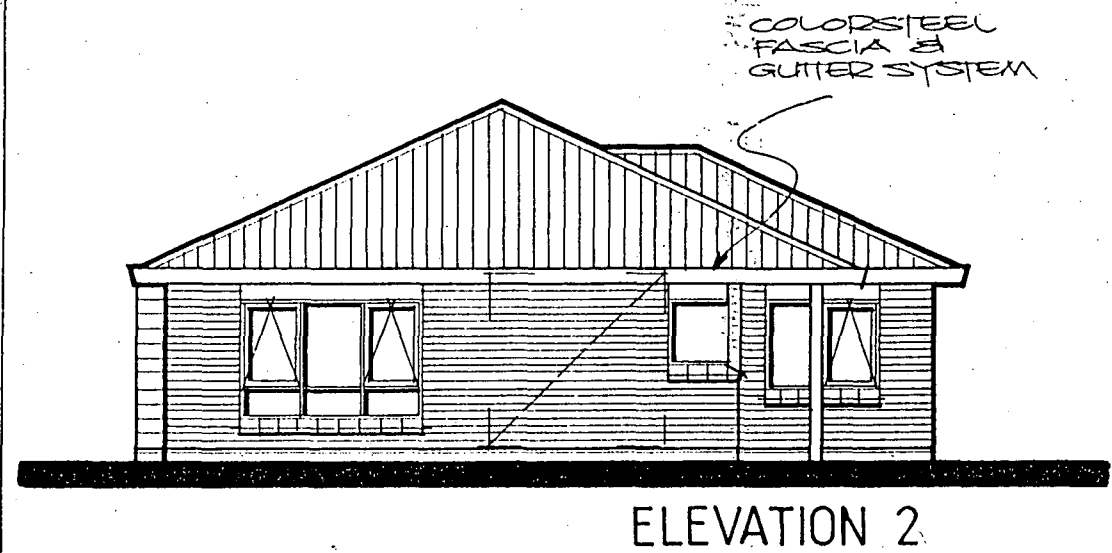
SCALE
1:250

DATE
JULY, 1996

DRAWING No.

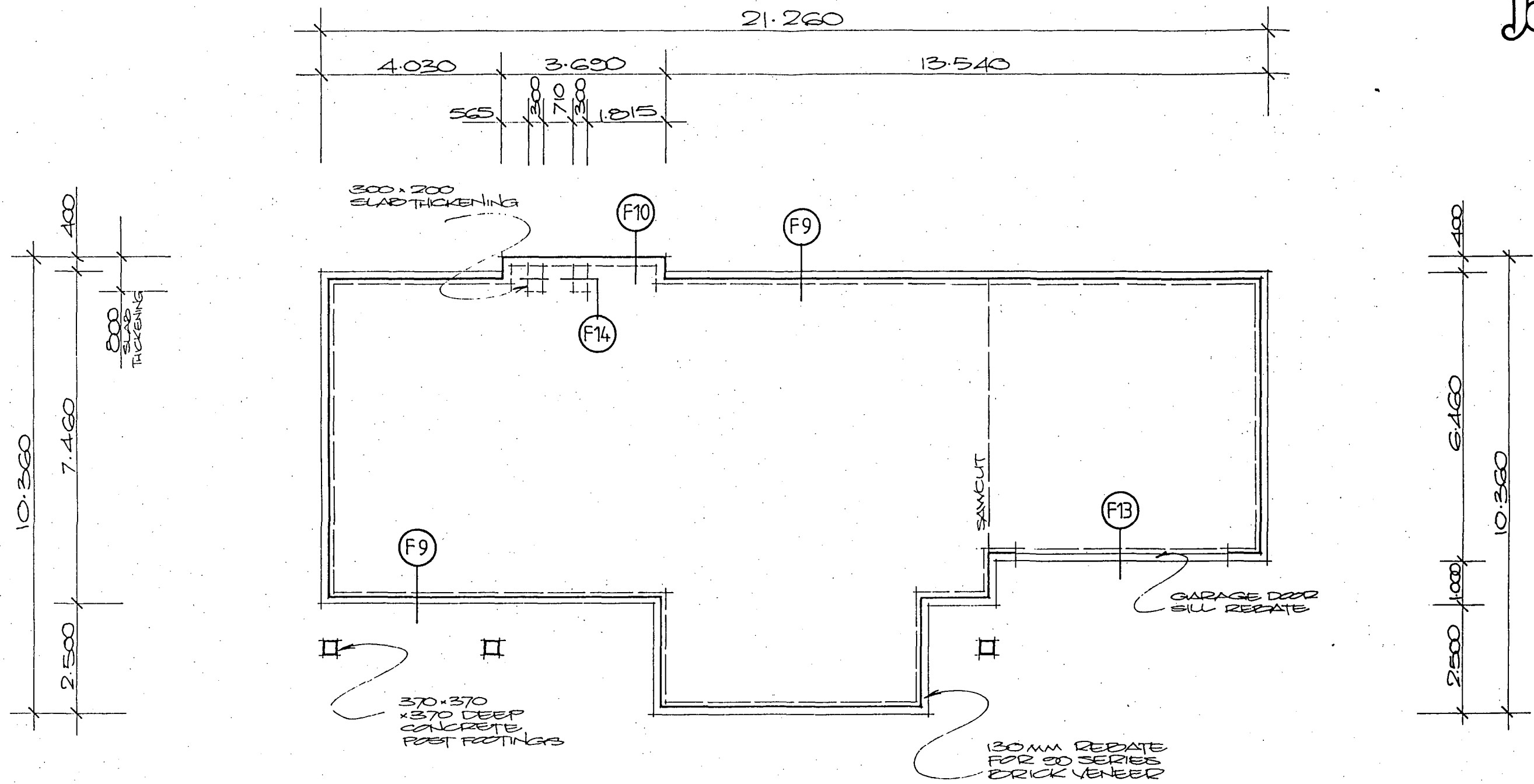
2508 S

JF 4640
FB 201/34



ELEVATIONS
SCALE 1:100

PLANS APPROVED SUBJECT TO ALL REQUIREMENTS OF THE BUILDING ACT 1991 BEING FULLY COMPLIED WITH
Date: 24.10.07 Consent Number: 97/1723
Officer: [Signature] (4)



FOUNDATION PLAN

SCALE 1:100

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH
Date 24.10.97 Consent Number 97/1783
Officer Phumene (65)

PROPOSED RESIDENCE FOR JACKSON IN OTONGA RD., ROTORUA



INSULATION

EXT. WALLS: 60mm ROCKWOOL W/S
CEILING: 100mm FIBREWOL

COLORSTEEL ROOFING &
BUILDING PAPER + NETTING OVER
75 x 50 PURLINS @ 900 %
OVER GANGNAIL ROOF TRUSSES
@ 900 % (CANTILEVER 1200mm)

9.5mm GIB BOARD
ON 75 x 40 CEILING
BATTENS @ 400 %

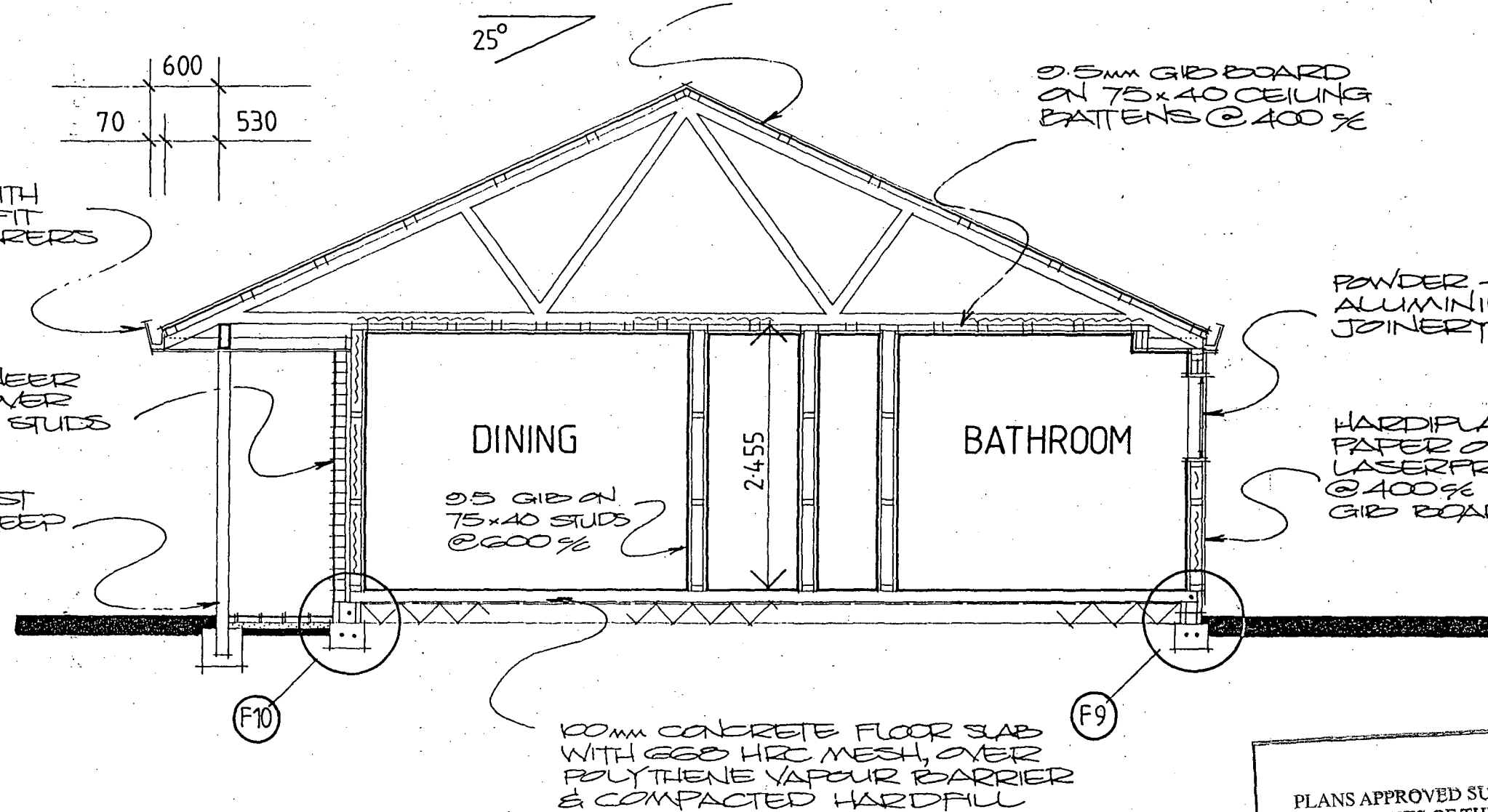
COLORSTEEL FASCIA
& GUTTER SYSTEM WITH
4.5mm HARDIFLEX SOFFIT
ON 100 x 40 SOFFIT BEARERS
@ 900 %

90 SERIES BRICK VENEER
& BUILDING PAPER OVER
100 x 40 LASERFRAME STUDS
@ 600 %

ex 100 x 100 TIMBER POST
SET IN 370 x 370 x 370 DEEP
CONCRETE FOOTING

POWDER-COATED
ALUMINIUM
JOINERY

HARDIFLANK & BUILDING
PAPER OVER 100 x 40
LASERFRAME STUDS
@ 400 % WITH 9.5mm
GIB BOARD LINING



PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH

Date 24.10.97 Consent Number 97/1783

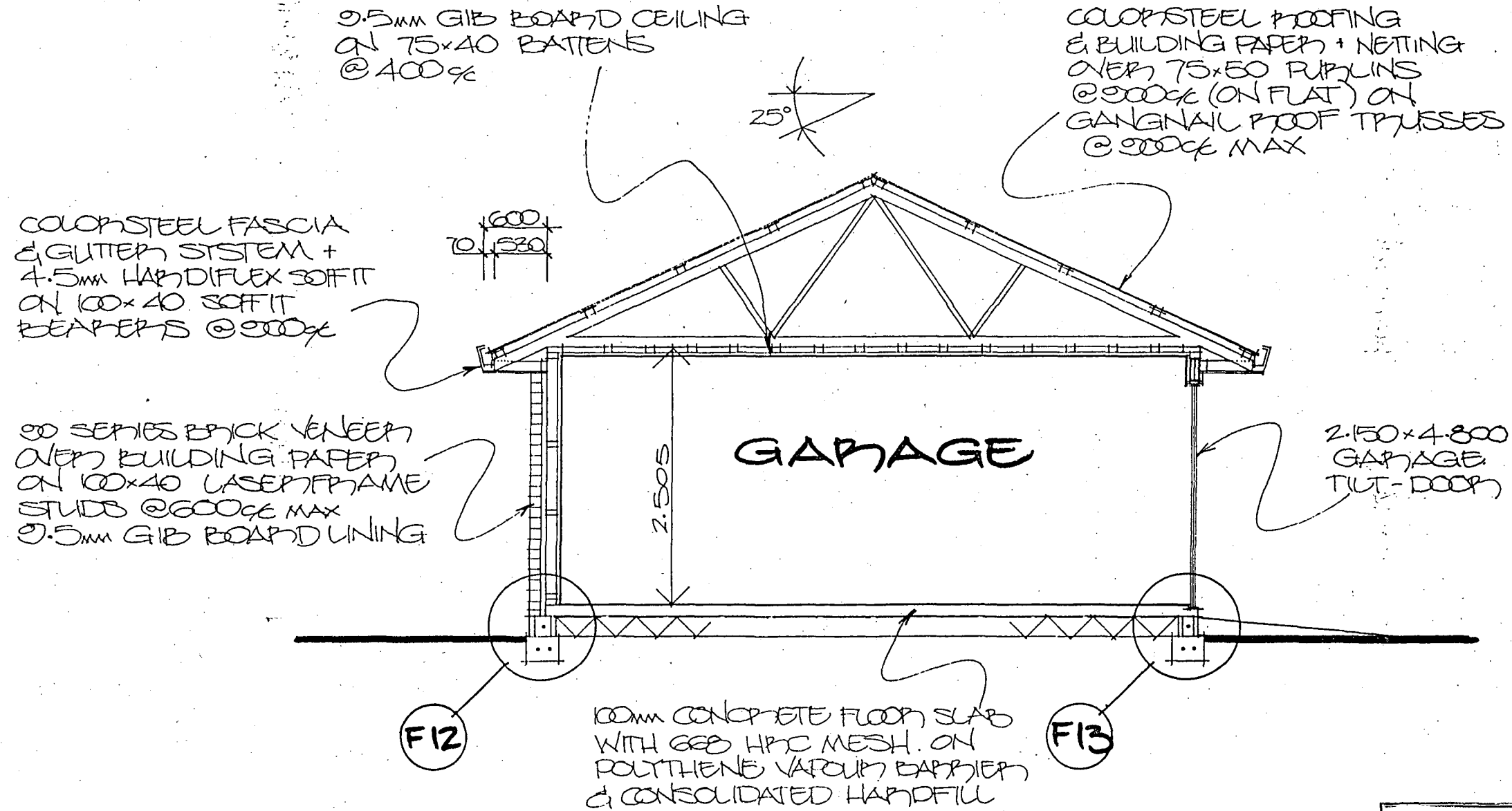
Officer Plummer (S)

SECTION A-A

SCALE 1:50

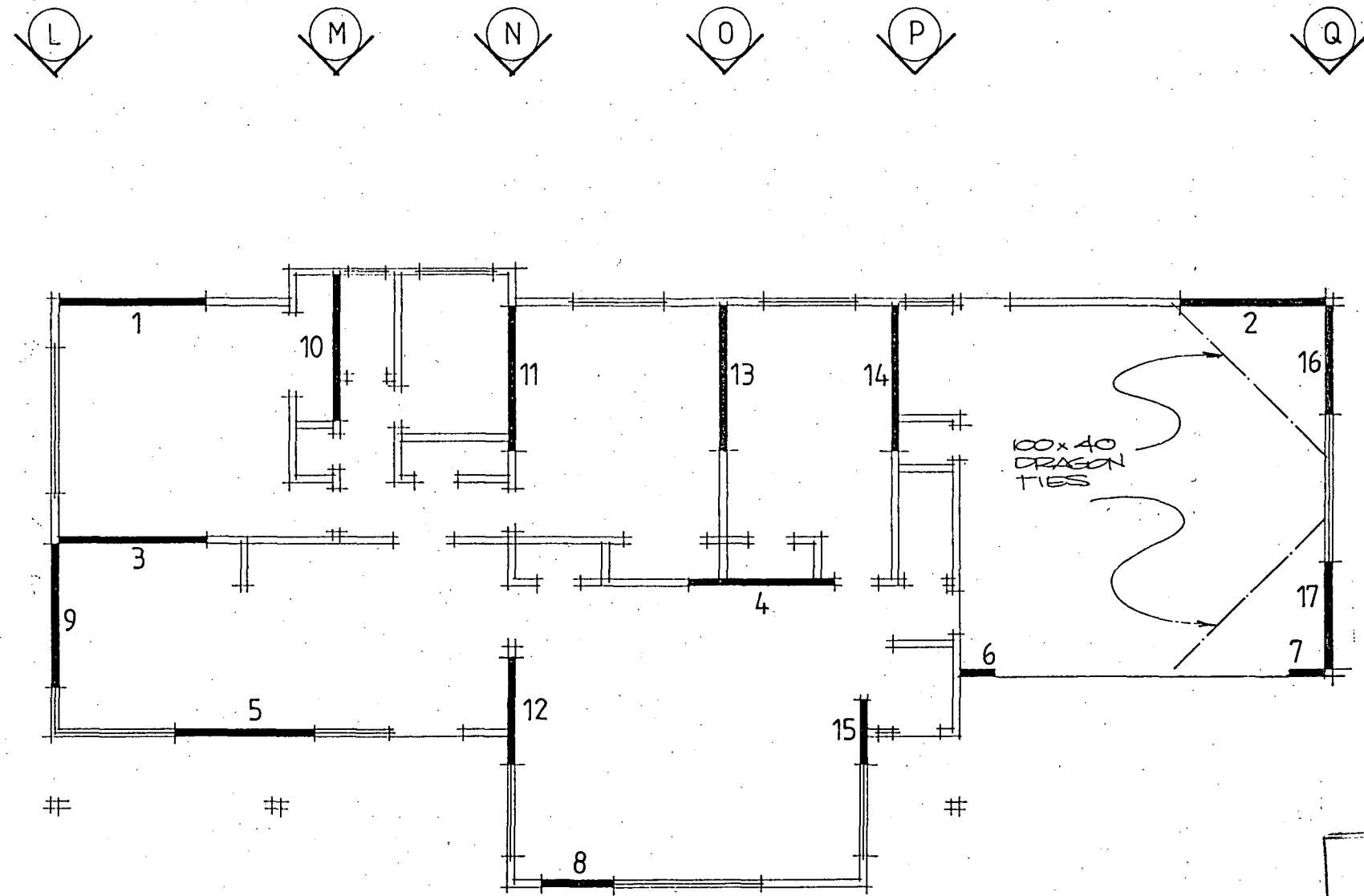


elevation orientation



SECTION B-B
SCALE 1:50

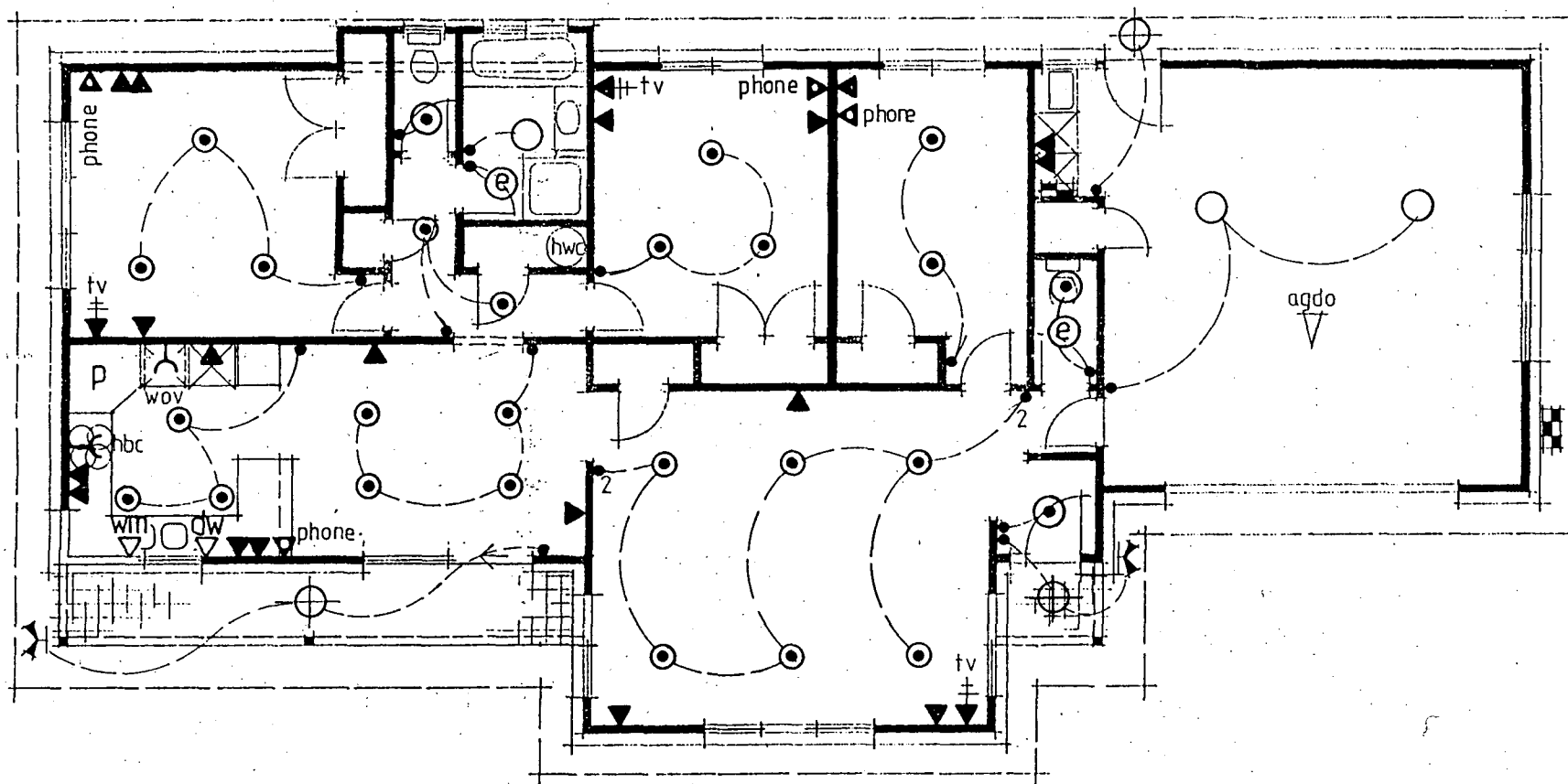
PLANS APPROVED SUBJECT TO ALL
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Date 24.10.97 Consent Number 97/1783
Officer Phumma (45)



BRACE	TYPE	LENGTH
ALONG	GIB 1	2.400
	GIB 1	2.400
	GIB 2	2.400
	GIB 1	2.400
	GIB 1	2.300
	ENGINEERS DESIGN	
	BR 5	1.200
ACROSS	GIB 1	2.400
	GIB 1	2.400
	GIB 1	2.400
	GIB 1	1.800
	GIB 2	2.400
	GIB 1	2.400
	BR 4	0.900
	GIB 1	1.800
	GIB 1	1.800

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH.
Date 24.10.97 Consent Number 97/1783
Officer P. Lammene (LS)

BRACING PLAN
SCALE 1:100



ELECTRICAL PLAN

SCALE 1:100

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH
Date 24.10.97 Consent Number 97/1783
Officer Lawrence B

ELECTRICAL KEY

SYMBOL	DESCRIPTION	Nº OFF
	meter board	1
	fuse board	1
	hot water cylinder	1
	single power outlet	9
	double power outlet	4
	telephone outlet	4
	television outlet	3
	shaver power outlet	1
	water pump power outlet	1
	dishwasher	1
	wastemaster	1
	rangehood	1
	stove circuit	1
	hob circuit	1
	wall oven (dual oven)	1
	2-way light switch set	1 set
	interior ceiling mounted light	3
	recessed downlight	26
	interior wall mounted light	1
	exterior soffit mounted light	3
	exterior wall mounted light	1
	infra red security spotlight	2
	extract-fan	2
	auto. garage door opener	1

ROTORUA DISTRICT COUNCIL

APPLICATION FOR A BUILDING CONSENT

Section 33, Building Act 1992
(Attach all relevant documents in duplicate)

APPLICATION NUMBER 97/1783



PART A : GENERAL

(Complete Part A in all cases)

1. OWNER

Name	<u>Lancelot Henry Jackson</u>
Postal Address	<u>32 Otangarei Road</u> <u>Rotorua</u>
Phone Number	<u>07-3481347</u>
Fax Number	<u>—</u>

2. CONTACT (If not owner)

Contact Name	<u>Craig Steel - Tennant Homes</u>
Postal Address	<u>P.O. Box 20151</u> <u>Hamilton</u>
Phone Number	<u>07-850 8454</u>
Fax Number	<u>07-850 8453</u>

3. PROJECT LOCATION

Address:	<u>32 Otangarei Road, Rotorua</u>
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4. LEGAL DESCRIPTION

Valuation Number <u>6589/223</u>		OFFICE USE ONLY	
Property ID: <u>P40348</u>			
Lot(s) (Section) <u>Part Lot 48</u>	DP/S (Block) <u>27272</u>	Lot Area(s) m ² /ha <u>716m²</u>	No. of new toilets/urinals <u>2</u>

5. PROJECT

5.1 New Building	<input checked="" type="checkbox"/>	5.2 Intended Life	5.3 Description of Work: <u>Construction of a</u>
Alteration	<input type="checkbox"/>	Indefinite but not less than 50 yrs <input checked="" type="checkbox"/>	<u>new Residential Dwelling</u>
Relocation	<input type="checkbox"/>	or	5.4 Intended Use(s) (in detail) <u>Residential</u>
Demolition	<input type="checkbox"/>	Specified as <input type="checkbox"/> yrs	<u>Dwelling</u>
			5.5 Estimated Value: \$ <u>176,500.00</u> (GST INCL)

- ☐ Application for Building Consent only, in accordance with Project Information Memorandum No.
- ☒ Application for Building Consent and Project Information Memorandum.

Signed by the ~~owner~~ owner's agent:

Signature: [Signature]

Name: Craig Steel Date: 29/9/07
(PLEASE PRINT)

Office Use Only
TARGET DATE

/ /

PART B : PROJECT DETAILS

6. (Complete Part B only if you have NOT applied separately for a project information memorandum).

The project involves the following matters; tick each applicable box, if any, and attach relevant information in duplicate.

- (a) ☒ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings. (Site Plan with elevations, Topography, drawn to scale, Elevations in relation to natural ground level and proposed finish level).
- (b) ☐ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, geothermal, hazardous contaminants on or near the site.
- (c) ☒ Provision to be made for vehicular access, including parking and materials used. (To be shown on site plan).
- (d) ☐ Provisions to be made in building over or adjacent to any road or public place.
- (e) ☒ Provisions to be made for disposing of stormwater and wastewater. (To be shown on site plan).
- (f) ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains.
- (g) ☒ New connections to public utilities, i.e. water supply, stormwater system, wastewater system.
- (h) ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
- (i) ☐ Details of any cultural or heritage significance of the building or building site, including whether it is on a marae, or waahi tapu.
- (j) ☐ Copy or reference to, of any resource consent or planning approval for this project.
- (k) ☐ Details of volume of Proposed Excavations: Include volumes for Site Preparation, Basement, and Driveway.

PART C : PROJECT DETAILS

(Complete Part C in all cases)

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate).

- 7. ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provision of the New Zealand Building Code, with supporting documents, if any, including:
 - 8. ☐ Building certificates
 - 9. ☐ Producer statements
 - 10. ☐ References to accreditation certificates issued by the Building Industry Authority.
 - 11. ☐ References to determinations issued by the Building Industry Authority.
 - 12. ☐ Proposed procedures, if any, for inspection during construction.

PART D

(Complete as far as possible in all cases)
Give names, addresses, telephone numbers. Give relevant numbers if known.

13.

DESIGNER(S)

Name:

Jennian Holdings Ltd (Alastair Storrer)

Address:

P.O. Box 122 Hamilton

Phone Number:

07-849 571

Fax Number:

07-849 7298

BUILDER

Name:

Jennian Homes Co. Ltd

Address:

P.O. Box 20151 Hamilton

Phone Number:

07-850 8454

Fax Number:

07-850 8453

DRAINLAYER

Name:

S.G. Churches Ltd

Reg. No.

02829

Address:

53 Vaughan Road Robina

Phone Number:

07-345 6495

Fax Number:

07-345 6495

PLUMBER

Name:

S.G. Churches Ltd

Reg. No.

02829

Address:

53 Vaughan Road - Robina

Phone Number:

07 345 6495

Fax Number:

07-345 6495

If more than number allowed for, please provide details on a separate sheet.

Floor Area of Proposed Work	Area square metres
Buildings Other Than Detached Accessory Buildings:	sq.m.
Floor	sq.m. 161.81 m ²
Basement	sq.m.
Ground Floor	sq.m.
First Floor	sq.m.
Second Floor	sq.m.
Additional Floors (Total)	sq.m.
Mezzanine	sq.m.
Decks	sq.m.
Total	sq.m. 161.81 m ²
Detached Accessory Buildings:	Area square metres
Garage	sq.m.
Carport	sq.m.
Other Buildings	sq.m.
Total	sq.m.

FOR OFFICE USE ONLY

FEES		
Fees paid on Application	\$	c
Plan Review ⁵²⁶³⁰⁵² _{30/9}	500	00
Project Information Mem.		
TOTAL FEE GST incl.		
Fees payable on approval	\$	c
Building Consent	500	00
Footpath Damage Deposit	300	—
Crossing Deposit	177	00
BRANZ Levy	176	50
B.I.A. Levy ^{115.05}	114	72
Water Connection	450	00
Sewer Connection		
Disconnection of Services		
Controlled Activity Fee	195	—
Controlled Activity Bond 1,175	1,175	—
Reserve/ Development Contribution	1,380	—
Photocopying		
Structural Check		
Resiting Bond		
Service Lane Information		
Other		
APPROVAL TOTAL	4260	72

CONSENT ISSUE AUTHORITY	
Receipt No.	5273251/2
Date of Issue	24.10.97
Authorised By	<i>[Signature]</i>
Date authorised	23.10.97

REFERRALS	
SENT	RETURNED
Structural	

AMENDED DETAILS RECEIVED		
	DATE	SIGN
Planning		
Health		
P & D		
Trade Waste		
Rec & Com		
DG/GEO		
Res Eng		
Building		
Structural		

*discussed with
Jennian Hones
who paid bond.
- this confirmed
it was then
on behalf of
applicant -
27/5/98*

COUNTER CHECKLIST FOR BUILDING CONSENTS (PERMITS)

YOU MUST SUBMIT IN SUPPORT OF YOUR APPLICATION THE FOLLOWING:

NOTE: Consent must be signed by the owner of the property as defined in the Building Act 1991 (Section 33 Paragraph 1) and Valuation Number is to be supplied and recorded by owner on the Consent Form.

CHECK	
Yours	Office

1. Two Sets of Plans and Specifications

Plans and specifications, means the drawings, specifications and other documents according to which a building is proposed to be constructed, altered, demolished, or removed, including proposed procedures for inspection during construction, alteration, demolition or removal and also including (in respect of construction or alteration):

- a) The intended use of the building; and
- b) The design features or systems which the applicant considers will be required to be included in any Compliance Schedule issued in terms of Section 44 of this Act; and
- c) The proposed procedures for inspection and routine maintenance for the purposes of that compliance schedule in respect of those design features or systems (if applicable).
- d) Plans for commercial buildings must include the furniture layout on all floors. This is to allow for fire and egress calculations to be made as required by the Building Act 1991.

NOTE: Failure to supply such drawings could result in the issuing of the consent to be delayed until these have been provided and the necessary calculations made.

2. Two Full Site Plans: Scale 1:100 1:200 1:250 1:300 1:400 1:500

- a) Position of the building(s) in relation to the *boundaries* of the full site and existing building(s) located on the site. Note: Both existing and proposed buildings are to be *clearly* defined.
- b) Site levels relative to permanent street levels.
- c) Contours of the site.
- d) Proposed cuts and fills to shape the site.
- e) Crossings/Driveways marked on all site plans - proposed, existing, gradients. Note: Normally one crossing per site only. Show type of finish and distance from kerb to boundary. (Maximum standard to Council specifications).
- f) Off street parking, loading, access and manoeuvring areas (if applicable).

3. Two Sets of Construction Drawings: Scale 1:100 or 1:50 showing:

- a) Elevations (site levels relative to floor levels and natural ground levels).
- b) Sectional elevations.

- c) Plans of all floors describing the function of each room showing all doors, windows and ventilation, fireplaces and chimneys. *But* for additions and alterations, the existing shall be shown separately and alongside the "proposed", to the same scale for comparison.
- d) Foundation details.
- e) Structural details, showing engineering calculations and signature where required.
- f) Bacing calculations (NZS 3604 - current issue).
- g) Area of building in m².

Note: All drawings must be of a good standard and be able to be scaled off. Consents will not be accepted if substandard drawings are submitted.

4. Two Sets of Plumbing and Drainage Plans:

- a) Applicants are reminded of their responsibility to have regard to the levels of Council's drainage services before construction of a building commences. Failure to do so may result in significant alterations at the applicants expense.
- b) All existing SEWERS, sewer connections shown and clearly labelled.
- c) If premises are a trade per TRADE WASTE Premises Schedule a trade waste application is requied to discharge to the sewer.
- d) All existing STORMWATER drains and connections shown and clearly labelled.
- e) Proposed sewer and stormwater drains shown clearly and labelled accordingly.
- f) All existing and proposed sanitary fittings.
- g) Sufficient detail to establish the adequacy of light and ventilation natural and artificial to every kitchen, food-room, laundry, bathroom, water-closet, shower, urinal and isolation compartment including sizes of windows, ventilating skylights, ventilating shafts and capacities of fans.
- h) Type of water piping to be used.
- i) A separate water application form is to be completed at the time the consent is lodged (if applicable).

5. Solid Fuel Heaters (Application only required together with:)

- a) Manufacturers installation specifications.

Note: All residential buildings must have permanent heating of at least 2.2 kW installed in the building.

6. Important Note

A processing fee of 50% of the building section of the permit fee is payable on all permit applications. This fee is not refundable.

A receipt for Permit Fees does not mean the Permit is approved for issue

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To follow ASAP

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Association
Consulting
Engineers of
New Zealand

New Zealand
Institute of
Architects

Institution
Professional
Engineers of
New Zealand

P.I.M. No.....
Building Regulation Clause(s).....

REC 8/10
P29570

PRODUCER STATEMENT - DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: RANJIT WANIGASEKERA LTD.
(Suitably qualified Design Professional)

TO: Mr & Mrs Jackson
(Owner)

IN RESPECT OF: Garage Linings & bracing to front of garage.
(Description of Building Work)

AT: 64 Onaga Road
Rotorua.
(Address)

LOT Part Lot DP 27272 SO

RANJIT WANIGASEKERA LTD. has been engaged by Jenna homes
(Design Firm) (Owner/Developer/Contractor)

to provide Engineering Consultancy services in respect of the
(Extent of Engagement)

requirements of Clause(s) B(1) of the Building Regulations 1992 for

☐ All ☒ Part only as specified

of the building work. The design has been prepared in accordance with V M
(verification method(s)/acceptable solution(s))

(respectively) of the approved documents issued by the Building Industry Authority and the work is described on
Jenna homes. drawings titled
(Design Firm)

and numbered..... and the specification and other documents according to which the building is proposed to be constructed.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

(i) the verification of the following design assumptions

and (ii) all proprietary products meeting the performance specification requirements,
the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

Ranjit Wanigasekera
(Signature suitably qualified Design Professional)

RANJIT WANIGASEKERA LTD.
CONSULTING, STRUCTURAL AND CIVIL ENGINEERS

48 Carrington Avenue

Hawthorn

Telephone: (07) 856-4455

Date 30/9/97

ERB/AERB Reg No. 5576

Member ACENZ ☒

IPENZ ☒ NZIA

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.

BUILDING CONSENT PROCESSING SHEET

Received through the mail

P29570

CONSENT NUMBER: 60/97/ 1783

DATE RECEIVED: 30/9/97

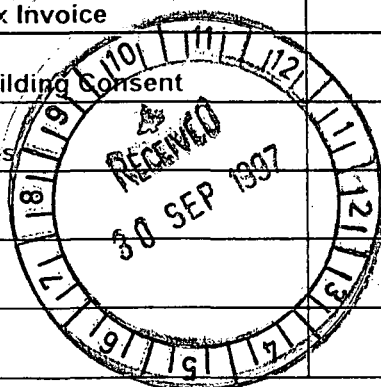
30/9/97 10348

SITE ADDRESS

32 Otanga Road

INV 23/10

ACTION / OFFICER	REVIEW	DATE	TIME TAKEN	APPRO	DATE
Check Appln - Bldg Officer	<i>SM</i>	30/9	Hours Min. 5.		
Prepare File & Data Entry			Hours Min. 15	LS	30/9/97
C.P.C. Planning	RSB	1/10	Hours Min.	DH	17/10/97
Drafting			Hours Min. 40.	GLL	3/10/97
Controlled Activity / Resource Consent			Hours Min.	DH	17/10/97
Environmental Health			Hours Min.		
Dangerous Goods/Geoth			Hours Min.		
Pollution Control Officer			Hours Min.		
Plumbing & Drainage	<i>M</i>	6-10	Hours Min. 5.	<i>M</i>	6-10-97
Recreation & Community			Hours Min.		
Resource Engineer	<i>A</i>	6-10-97	Hours Min. 20.	<i>A</i>	23-10-97
Land Fill			NO UNKNOWN		
Flood Prone			NO UNKNOWN		
Building Officer	<i>1004</i>	5-10	Hours Min. 20	<i>6</i>	23-10-97
Update Date Entry			Hours Min.		
Issue Tax Invoice			Hours Min.		
Issue Building Consent			Hours Min.		
Fax Costs			Hours Min.		
			Hours Min.		



Resource Consent:

Activity: Controlled/Discretionary/Non-Complying

Requested: 1/10/97

Received: 3/10/97 Waiting for further info/Donna: 3/10/97. Approval/John: 8/10/97.

16 October 1997

Please Quote: ~~P10348~~

Doc. No: 71812

L.H. Jackson
C/- Jennian Homes
PO Box 20-151
HAMILTON

Dear Sir,

NOTICE TO SUSPEND PROCESSING OF CONSENT APPLICATION
PURSUANT TO THE BUILDING REGULATIONS 1992 SECTION 6(2)
APPL NO. 97/1783 - PROPOSED NEW DWELLING/GARAGE
STREET ADDRESS - 32 OTONGA ROAD

Receipt of your building consent application is acknowledged. You are hereby notified that the processing of this consent is suspended on the following grounds:

Resources:

1. Please contact your Drainlayer who is to submit two sets of plans to Council's Resource Engineering Section for a Street Opening Permit for the stormwater disposal to the kerb and channel.
2. As per 1. Above, please submit two sets of revised plans showing a standard kerb outlet for stormwater disposal and the proposed pipe size.
3. As an advisory note, soakholes are an acceptable method of stormwater disposal in the area.

Building:

1. Please provide the Engineer's specifications and Producer Statement for the cantilevered kitchen lintel.
2. All lintel sizes not specifically designed to be provided.
3. Please confirm that Grade A safety glass is being used in bathroom window.

Receipt of your advice in respect of the above matters will enable your consent to be more fully considered.

PLEASE DIRECT ALL REPLIES/ENQUIRIES TO THE DUTY BUILDING OFFICER.

Yours faithfully

P. Lawrence
Building Control Manager

WALL BRACING CALCULATIONS

JOB No _____

NAME JACKSONSITE ADDRESS OTONGA RD, ROTOHUA

Storey: Single Upper of Two Lower of Two
 Site Wind Zone: Low Medium High Very High
 Earthquake Zone: A B C

FOR EARTHQUAKE

Roof Weight: Light Heavy
 Type of Cladding: Light Heavy
 Storey in Roof Space: Yes No
 Average Roof Pitch: 25° E = 4.6 BU's/m²

FOR WIND

Building Height: 4.800 m W Along = 41 BU's/m
 Roof Height: 2.400 m W Across = 41 BU's/m
 Stud Height: 2.450 m
 Wind Speed: 32 m/s

~~Roof~~ Building Length: BL 21.00 m

~~Roof~~ Building Width: BW 10.23 m

Gross ~~Roof~~ Building Plan Area: GPA 161.81 m²

Earthquake Load: E x GPA 4.6 x 161.81 = 744.33 BU's
 (across and along)

Wind Load: W x BW 41 x 10.23 = 419.43 BU's
 (along)

Wind Load: W x BL 41 x 21.00 = 861 BU's
 (across)

WALL BRACING CALCULATIONS

JACKSON

WALL LINE			Brace Details		
	Label	Minimum BU's Required	Label No.	Type	Length (m)
ALONG	A		1	GB1	2.400
			2	GB1	2.400
		210			
	B		3	GB2	2.400
			4	GB1	2.400
		70			
	C	75 51	5	GB1	2.300
			6	GB1	2.300
			7	GB1	2.300
		138			
	D		8	GB2	1.200
		50			
	E				
	F				
	G				
TOTAL		475	BU's Provided		
			BU's Required		

WIND	
Wall Bracing Elements Provided	
Rating BU's/m	BU's Provided
75	180
75	180
Subtotal	360
80	192
75	180
Subtotal	372
55	126
ENGINEER'S DESIGN	
Subtotal	
115	138
Subtotal	138
Subtotal	
Subtotal	
Subtotal	
TOTAL	996
TOTAL	420

EARTHQUAKE	
Wall Bracing Elements Provided	
Rating BU's/m	BU's Provided
50	120
50	120
Subtotal	240
70	168
50	120
Subtotal	288
50	115
Subtotal	
35	102
Subtotal	102
Subtotal	
Subtotal	
TOTAL	754
TOTAL	745

WALL BRACING CALCULATIONS

JACKSON

WALL LINE			Brace Details		
	Label	Minimum BU's Required	Label No.	Type	Length (m)
ACROSS	L		9	GIB1	2.400
		72			
	M		10	GIB1	2.400
		70			
	N	70	11	GIB1	2.400
		25	12	GIB1	1.800
		95			
	O		13	GIB2	2.400
		70			
	P	70	14	GIB1	2.400
		25	15	B240	0.900
		95			
	Q		16	GIB1	1.800
			17	GIB1	1.800
		62			
	R				
TOTAL		484	BU's Provided		
			BU's Required		

WIND	
Wall Bracing Elements Provided	
Rating BU's/m	BU's Provided
75	180
Subtotal	180
75	180
Subtotal	180
75	180
55	90
Subtotal	270
80	192
Subtotal	192
75	180
100	90
Subtotal	270
55	90
55	90
Subtotal	180
Subtotal	
TOTAL	1299
TOTAL	861

EARTHQUAKE	
Wall Bracing Elements Provided	
Rating BU's/m	BU's Provided
50	120
Subtotal	120
50	120
Subtotal	120
50	120
50	90
Subtotal	210
70	168
Subtotal	168
50	120
85	76
Subtotal	196
50	90
50	90
Subtotal	180
Subtotal	
TOTAL	994
TOTAL	745

DETAIL SHEET

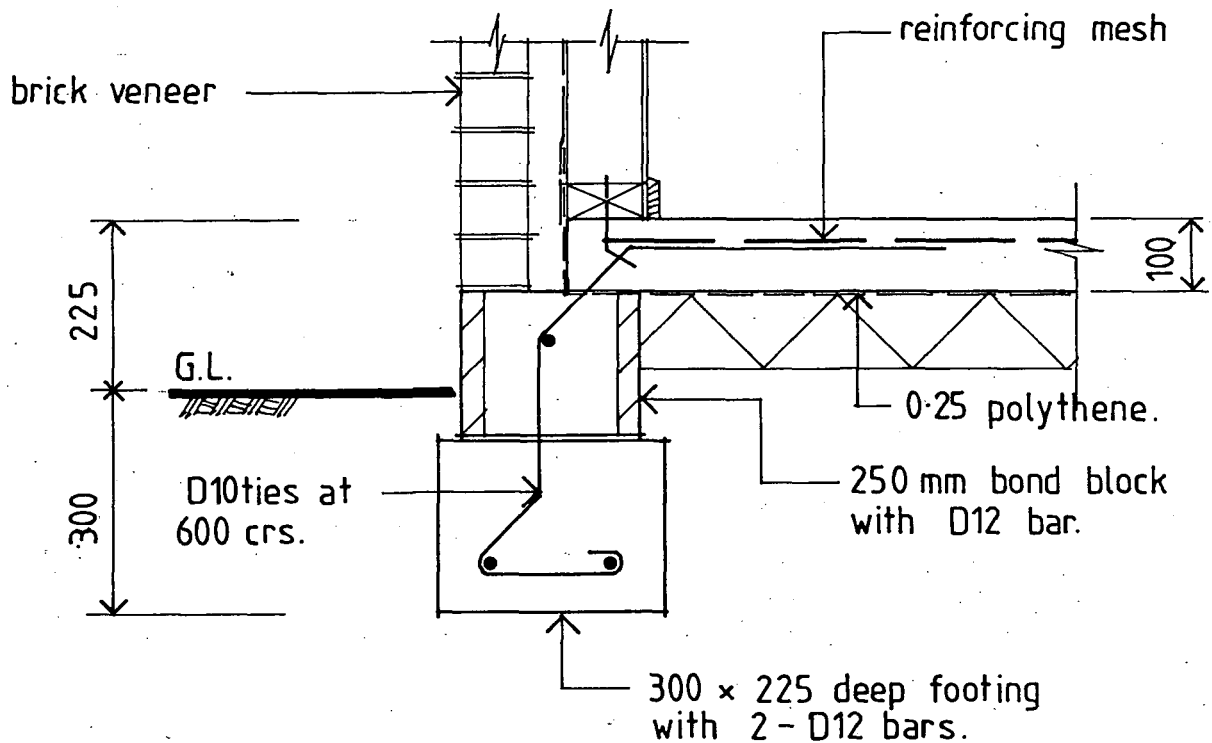
Jennian

Subject

FOUNDATIONS

Date

Page



SLAB EDGE BEAM / BRICK VENEER

F9

DETAIL SHEET

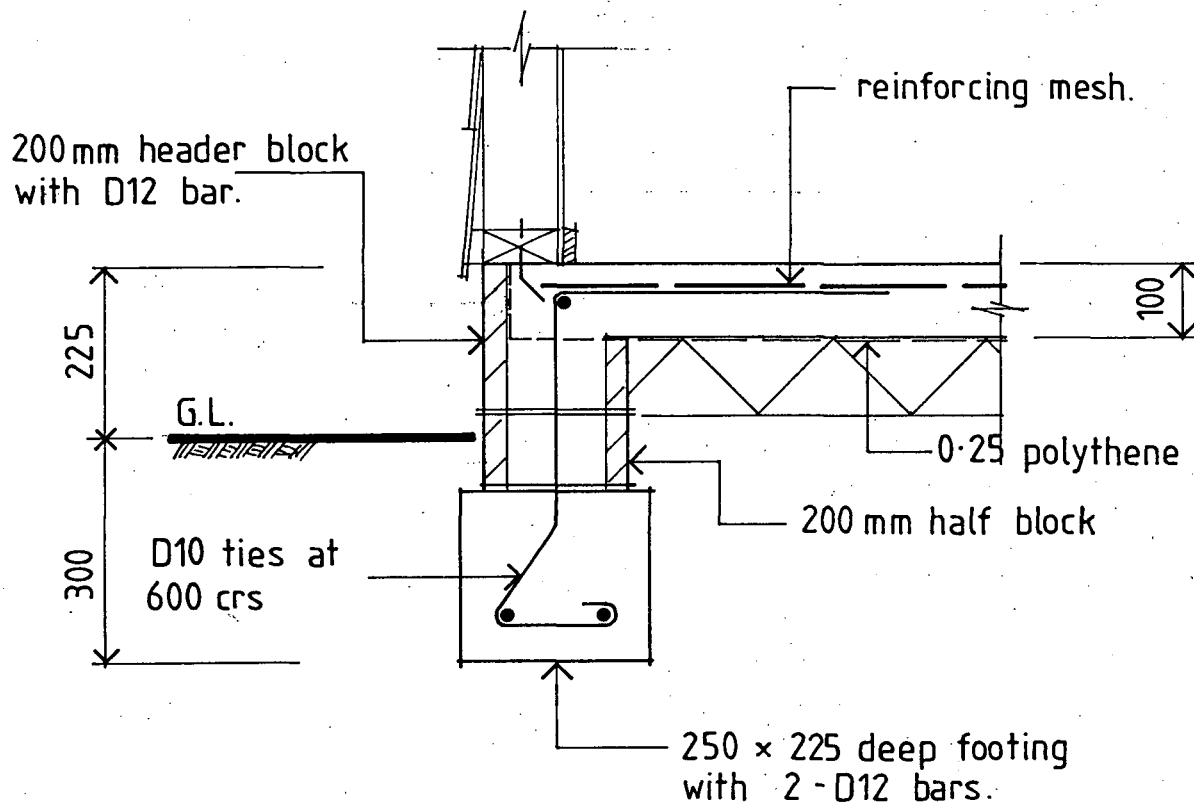
Jennian

Subject

FOUNDATIONS.

Date

Page



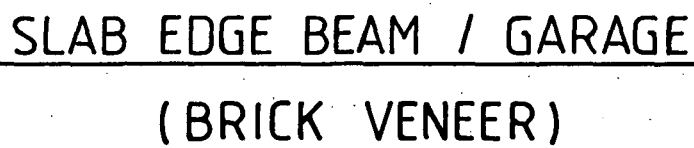
SLAB EDGE BEAM / HARDIPLANKS.

F10

Jennian

FOUNDATIONS.

Page



DETAIL SHEET

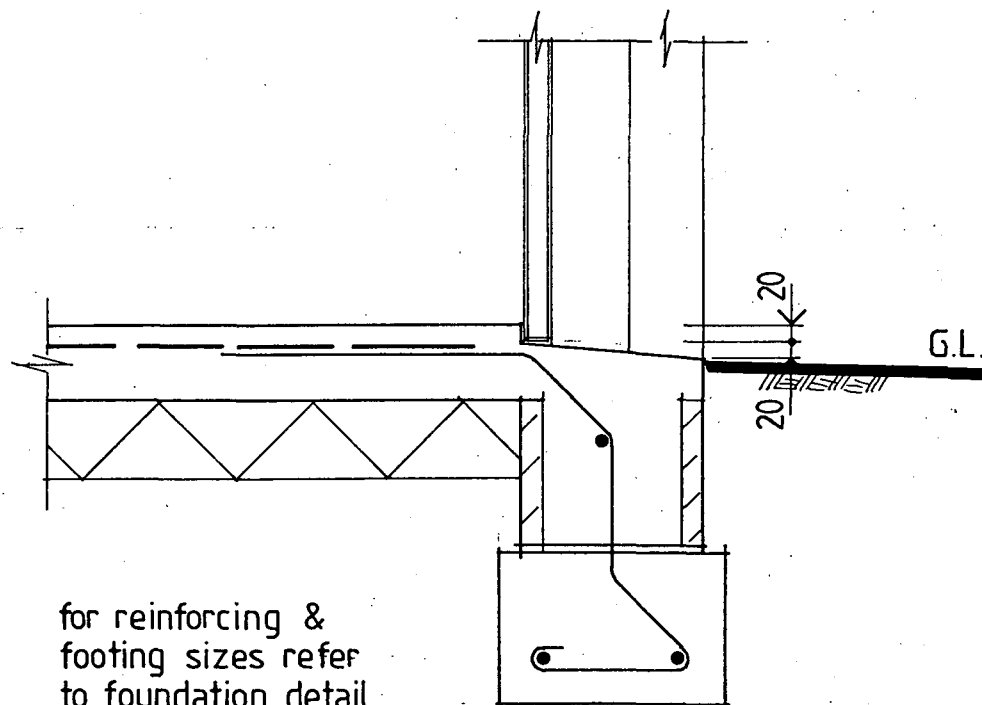
Jennian

Subject

FOUNDATIONS

Date

Page



for reinforcing &
footing sizes refer
to foundation detail
no. F12 (brick veneer)
OR
no. F18 (other claddings)

SLAB EDGE AT GARAGE DOOR

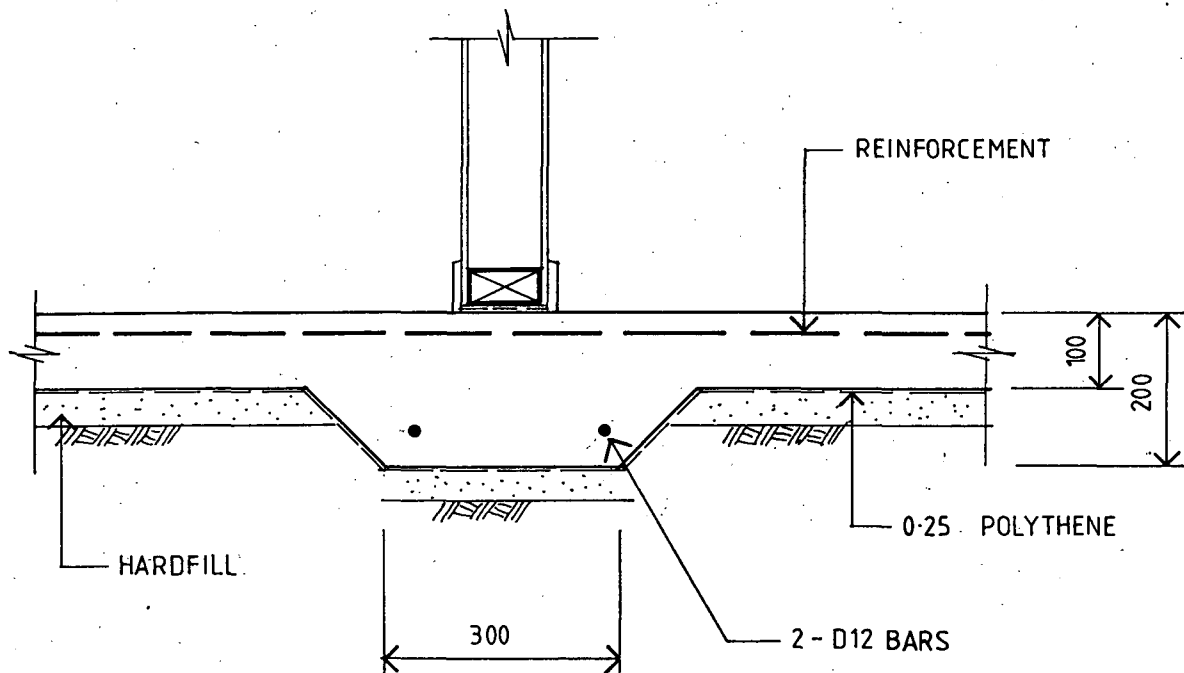
F13

Subject

FOUNDATIONS

Date

Page



SLAB THICKENING AT LOAD BEARING WALL.

F14



ROTORUA DISTRICT COUNCIL
WATER CONNECTION APPLICATION

Application No:

Valuation No

Water Supply:

0628578
06585/223-00

SECTION 1 APPLICANT TO COMPLETE

Name of Property Owner

Street Address (to be supplied)

Postal Address of Owner (if different)

Full Legal Description (Lot No, DPS, SD, Blk No)

Contact Name and Phone No

Description of existing buildings

Description of proposed buildings

What is the purpose of connection;

Domestic ☒

Commercial ☐

Industrial ☐

Agricultural ☐

Fire Supply ☐

Is the property already supplied with water (Y/N) ☒

Were any buildings demolished to which water was supplied (Y/N) ☐

Preferred location of gate valve and/or meter; 2m metres from LEFT / RIGHT side boundary
(measured standing on road facing towards the property)

I hereby make application for the above water connection and agree to meet such fees, water rates, and/or conditions as may from time to time apply in respect to the Rotorua District Council General

Signature of Applicant/Owner

Date

SECTION 2 OFFICE USE ONLY

Building Services Department

Connection I. D. size (mm, 20, 25)

Water Meter req'd (y/n)

Consumer Class

Backflow preventer req'd (y/n)

Fee Due \$ 450-00

Cashiers receipt No 527325.1

Other 24/10

Rates Department

Application details checked against Rates Database

Application noted on Val slip

Engineering Dept / Draughting

Connection size acceptable

Flow Restrictor req'd

Scheme Contribution req'd

Property Area (Ha.)

Other

Recorded by

Date

Recorded by

Date

Authorized by

Date

Operations

Job Charge Code

Job Cards No

Fitter

Connection size installed

Meter No

Meter Size Type Reading

Test Pressure / Flow recorded kPa / l/m

Location metres from (L or R) side boundary

Installation completed on 19

Signed by

Post Installation Check

As Built information rec'd (y/n)

Water Billing Account No

Asset I.D.

Other Details

Recorded on As Built plan No

Signed by

Date

